



Design Guidelines

Town of Orangeville Community Improvement Plan

August 2022



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1

INTRODUCTION

1.0 | Purpose

The purpose of these guidelines are to establish a foundation for the development, redevelopment and enhancement of lands within the Town of Orangeville Community Improvement Plan (CIP) area. The design guidelines are intended to assist the Town, property owners, businesses, developers and the general public in ensuring that development, redevelopment and renovation projects achieve the Town's vision for high quality built form within Orangeville. It is the role of these guidelines to articulate that desired urban design details of lands within the CIP area and, where applicable, to provide guidance for the application of potential incentives and grants.

The guidelines are intended to act as an additional resource for municipal staff to assess development applications and are intended to help both staff and applicants engage in meaningful discussions about urban design and heritage conservation based on a common understanding of good urban design and clear expectations.

The guidelines are also intended to act as a community resource for property owners considering renovations or redevelopment that may not involve a development application, by helping to illustrate best practices in design and heritage conservation. The guidelines are intended to help educate, inform and inspire both public and private investments in the Town.

1.1 | Using the Guidelines

WHERE THE GUIDELINES ARE APPLICABLE

The Town of Orangeville Community Improvement Plan (CIP) applies to the entire municipality. The guidelines contained herein primarily apply to the Priority Zones identified on **Figure 1** below. Notwithstanding, Planning and Infrastructure Services staff may, at their discretion, apply these guidelines to development proposals outside of the Priority Zones. This will be determined at the Pre-Consultation stage.

**Community Improvement Project Area
Town of Orangeville**

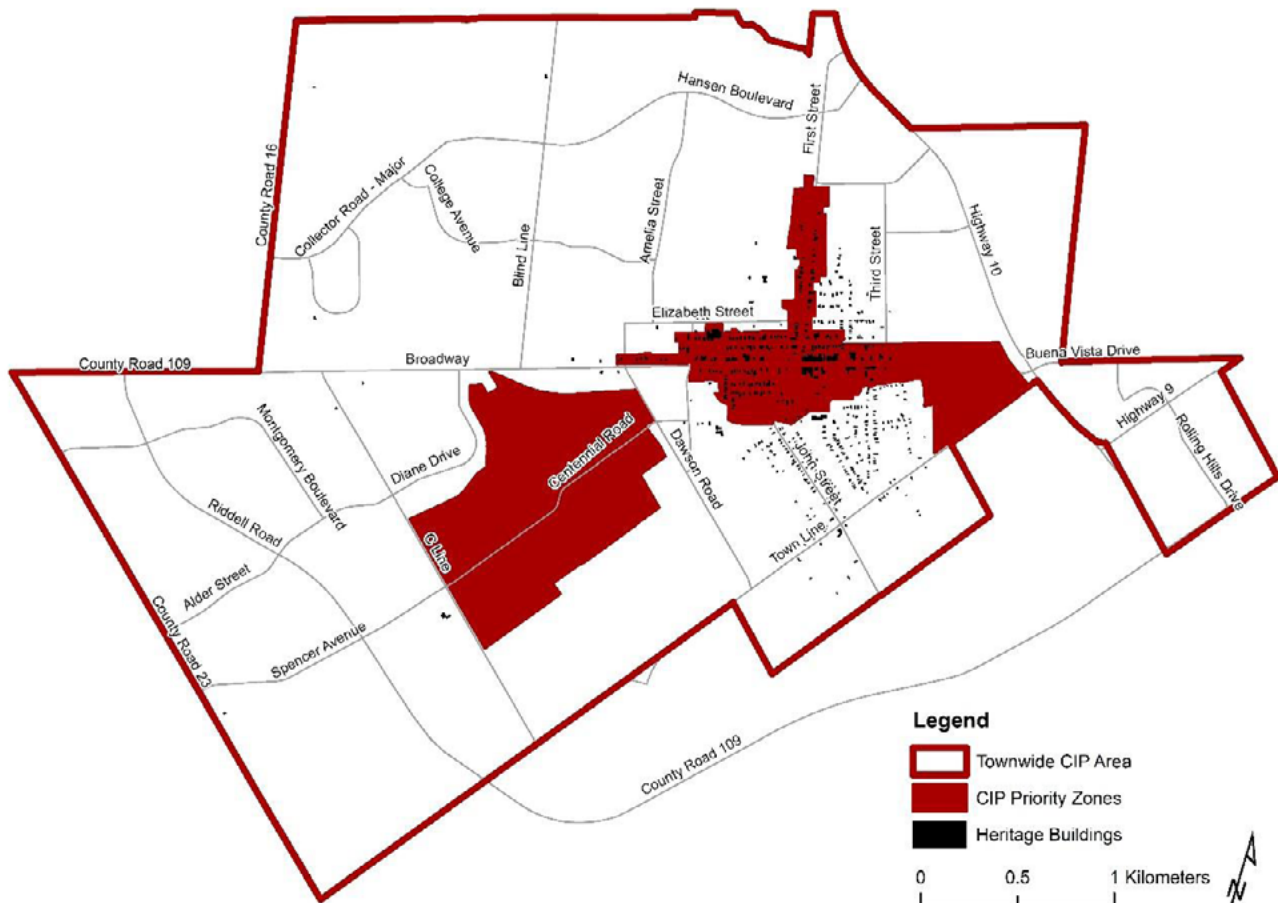


Figure 1 | Map showing CIP Boundary and Priority Zones.

1.1.2 WHEN THE GUIDELINES ARE USED

The guidelines are to be used when new development, redevelopment or renovations are proposed in the CIP Area and when the Town is considering the enhancement or development of infrastructure or public spaces. The guidelines are to function as a tool that assists the municipality in evaluating grant proposals and provides land owners, developers, and the public with clear expectations in order to be considered for grants and other CIP programs.

The guidelines may also be relied upon when considering applications for severances, minor variances, official plan amendments, zoning by-law amendments, site plan applications and other planning related applications.

Land owners, developers, and the public can also utilize the guidelines when considering updates to their property(s) to assist in identifying eligibility for grants.

At the Pre-Consultation stage for a proposed development, the Town will identify whether the design guidelines are applicable. The Town may, at its discretion, request the preparation of an Urban Design Brief in support of a development application. Design Briefs shall be prepared in accordance with the Terms of Reference provided in **Appendix A** of this document.

1.1.3 HOW TO USE THE GUIDELINES

The guidelines have been organized into two sections “General Design Guidelines” and “Supplemental Design Guidelines”. The general guidelines apply to all development within the Town. The Supplemental Design Guidelines provides detailed design guidelines for specific for s specific areas within the Town such as the downtown, commercial areas and employment areas or for specific types of development such as multiple residential and mixed use development. These guidelines are to be read in conjunction with the General Design Guidelines. Where there is a conflict, the supplemental guideline shall prevail.

A hierarchy of guidelines is established through guideline sentence structure. A higher level of compliance will be expected for guidelines that include words like is “shall” and “must”. While still important and relevant, a lower level of direction is provided through softer words such as to “encourage”, “consider” and “emphasize”.

For applicants wishing to pursue a CIP grant or program, these guidelines should be read in conjunction with the detailed Town of Orangeville Community Improvement Plan.



A brief summary of the CIP Grant Criteria and Eligibility can be found in Appendix C. For more detailed information regarding the CIP grant programs, refer to:

Section 4 “Financial Incentive Programs”
of the Community Improvement Plan.



2

GENERAL DESIGN GUIDELINES

The General Design Guidelines implement overall urban design objectives for development within the Town of Orangeville. These guidelines are intended to guide many types of development in the Town and may be supplemented by more detailed design guidelines provided in Section 3 of this document.

2.0 | Universal & Age-Friendly Design

Planning proactively for a future in which a greater proportion of the population lives with reduced mobility and other disabilities is responsible, necessary and timely. Age-friendly planning is sensitive to the needs of all age groups and all ability levels. Universal Design means designing the built environment so that it can be understood, accessed, and used to the greatest extent possible by all people regardless of their age or ability. The following guidelines apply to all new development, including infill and redevelopment within all areas outlined in the Community Improvement Plan:

- Ensure that all public spaces are barrier-free for persons of all ages and abilities. This includes sidewalks, parks, etc. as well as semi-private open spaces.
- Street trees, landscaping, seating, public art and signage should not obstruct the path of travel for pedestrians.
- Integrate access structures such as curb ramps, entry ramps and handrails as seamless components of new public buildings where practical.
- Integrate tactile and visual design elements (such as differential paving) to assist in orientation and the recognition of potential hazards to persons with disabilities.
- Design in accordance with the Accessibility for Ontarians with Disabilities Act and other applicable provincial legislation.
- For any new ground oriented residential developments, accessible housing units are strongly encouraged. Features include: one zero-step entrance, wider doorways and clear passage on the main floor.
- Where site conditions and topography dictate that neither exterior walks nor ramps would be practical, the design of stairs should consider the inclusion of handrails on either side of the stair, have colour contrast or distinctive visual pattern on the nosing and be constructed of a slip-resistant finish as per the Ontario Building Code.
- Pedestrian routes should be well illuminated to ensure public safety.
- New buildings shall be directly accessible from the street and barrier-free access from the building entrance to the public sidewalk shall be provided.
- The alteration of significant cultural heritage resources to improve accessibility and achieve the principles of universal design is appropriate provided that it does not result in adverse impacts to identified heritage attributes and is sympathetic to the heritage character of the area.

Accessibility Improvement Grant

A one time grant may be available to applicants proposing accessibility improvements to existing commercial properties (including commercial components of mixed-use buildings and residential buildings used in part or in whole for commercial use). A grant equivalent up to 50% of eligible costs or a maximum grant of \$5,000.00 may be provided per property. Eligible costs include accessible parking signage; accessible ramps, improvements of entrances (door widths, automated entries) and interior improvements not covered under the Major Building Improvement Grant.

2.1 | Sustainable & Climate Ready Design

The guidelines within this section assist in the development, implementation and promotion of environmentally sustainable practices. Developers and property owners are encouraged to incorporate sustainable elements within all proposed developments. New development and redevelopment shall consider the following guidelines:

- For new development, apply proactive solutions that encourage groundwater infiltration of stormwater, such as increasing permeable surfaces.
- Landscape plans should consider the use of native, drought resistant plant materials.
- Bicycle parking shall be provided for all development and redevelopment proposals.
- Increase the shading of surfaces by planting trees or other vegetation.
- Lighter, reflective surfaces help reduce the Urban Heat Island effect, heat loading, and internal building temperatures, thus reducing energy costs and extending the lifespan of rooftops, HVAC equipment, roads, and other paved surfaces. Cool roofs or white roofs are encouraged.
- Encourage the incorporation of design features that achieve passive cooling and natural ventilation to help maintain lower internal ambient temperatures with less air conditioning. Some design features include:
 - » Appropriate east-west building orientation.
 - » Passive ventilation design.
 - » Exterior window shades (retractable to not lose beneficial solar heat gain in winter).
 - » High performance glazing.
 - » Operable windows
- Where possible provide south facing windows to maximize passive solar orientation benefits. On larger, multi-building sites orient buildings to be south facing where possible.
- Promote sustainable design initiatives and practices including sustainable building and landscaping practices.
- When landscaping development sites, maintain a minimum of 15 cm/6" quality topsoil. Appropriate topsoil levels absorb runoff and help to ensure plants survive and thrive.
- For sites with surface parking, identify a designated snow storage area in an area that will reduce salt and contaminant impacts to vegetation, groundwater and surface water.
- Retain and reuse uncontaminated on-site topsoil in areas not covered by the building and parking/hard surface areas. Proper storage of topsoil will retain soil health and quality. Reusing soil promotes responsible use of a natural resource and minimizes the need to truck soil to and from the site.
- Encourage the adaptive re-use of the existing historical building stock (including significant cultural heritage resources) as sustainable practice which encourages retrofits and repairs rather than the removal of historic building fabric which contributes to landfill.



The implementation of green infrastructure and low-impact development strategies is encouraged.

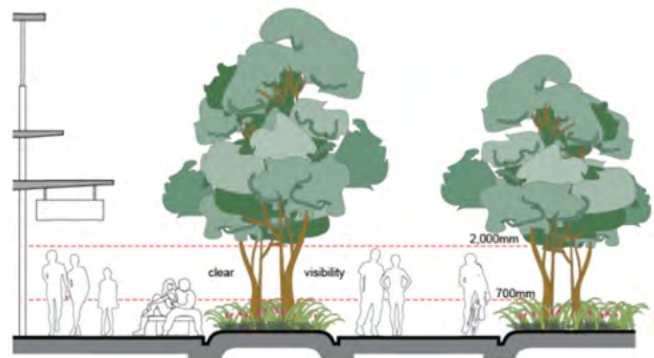
2.2 | Crime Prevention Through Environmental Design (CPTED)

Crime Prevention Through Environmental Design (CPTED) is a multi-disciplinary approach of crime prevention that uses site and architectural design and the management of built and natural environments. CPTED strategies aim to reduce victimization, deter offender decisions that precede criminal acts, and build a sense of community among inhabitants so they can gain territorial control of areas, reduce crime, and minimize fear of crime. The following guidelines should be considered in the design of safe sites and buildings:

- Use appropriate features that express ownership and boundaries such as defined entrances, parking areas, and pathways.
- Provide adequate lighting illumination and continuous lighting across sites.
- Provide adequate lighting illumination and continuous lighting and ensure sight lines between buildings and pedestrian walkways are unobstructed and well lit.
- Integrate informal surveillance by considering visibility, light and openness. Orient and design physical features and activities to maximize the ability to see throughout the site. This includes attention to the placement of windows to provide visual access to areas of the site, and locating walkways, entrances, landscape materials, and other site features to avoid areas for persons to hide.
- Incorporate appropriate lighting that does not produce glare. Avoid excessively bright lighting.
- Increase security through the use of private wayfinding signage.
- Provide barrier-free access for emergency vehicles.
- Use higher-quality fencing designs, if required for security and safety.
- Consider views for safety and surveillance opportunities when selecting and siting landscape elements.
- Encourage the concepts of 'eyes on the street' and 'eyes on the park' when placing windows, front porches and balconies. This includes the placement of windows relative to private outdoor amenity areas.
- Provide appropriate seasonal maintenance (vegetation maintenance, snow removal) to provide safe access to all accessible areas of the property (i.e. entrances, parking, amenity space, servicing area, paths, etc).



Example of buildings and open space maximising casual surveillance opportunities.



Example of landscape elements selected for views and safety/

2.3 | Heritage Buildings

The conservation of significant cultural heritage resources is an important consideration within historic Downtown and elsewhere in the Orangeville community. Where a new or infill development is to be constructed adjacent to a building of architectural or historical significance (including designated or listed properties) the Town may request the preparation of a Heritage Impact Assessment to assess the proposed development relative to surrounding built heritage resources.

The following provides guidelines on the conservation of cultural heritage resources. This includes a focus on built cultural heritage resources, including all listed and designated buildings which are protected under the Ontario Heritage Act as well as all potential cultural heritage resources within the Downtown that contribute to its unique heritage character.

- The conservation of cultural heritage resources is strongly encouraged and the Provincial Policy identifies that built heritage resources and significant cultural heritage landscapes shall be conserved.
- This document acknowledges that conservation can take the form of rehabilitation, preservation, or restoration, all of which are forms of conservation recognized by the Parks Canada Standards and Guidelines.
- Alterations to properties that are designated or listed under the Ontario Heritage Act should adhere to the standards and guidelines of the Parks Canada Standards and Guidelines for the Conservation of Historic Places in Canada.
- Technical advice on the repair, preservation, or general conservation of heritage fabric can be found in the Parks Canada Standards and Guidelines or the National Parks Service of the United States Department of the Interior (Technical Preservation Briefs) or the Historic England Technical Guidance documents (available Online).
- Significant Cultural Heritage Resources should be retained and repaired or rehabilitated, rather than replaced. The demolition of cultural heritage resources is discouraged.

Adaptive Reuse:

- The adaptive re-use of significant cultural heritage resources is encouraged as an alternative to demolition.
- The adaptive re-use of buildings may require alterations to suit new use. This is referred to as "rehabilitation" in the Parks Canada Standards & Guidelines. Adaptive re-use and/or rehabilitation projects should refer to the Parks Canada Standards & Guidelines for guidance.
- The adaptive re-use of buildings shall retain the character and heritage attributes of the building or resource while achieving appropriate new-use.



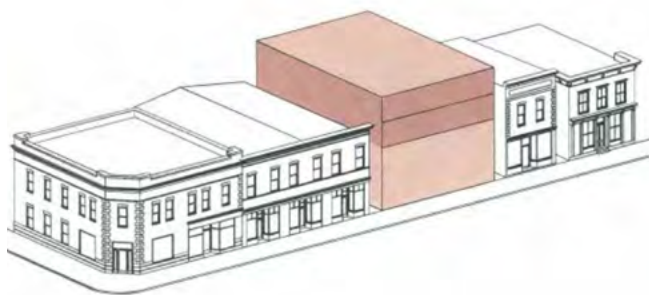
Typical Heritage Façade Composition Diagram

Comprehensive Façade Improvement Grant Program

The Façade Improvement Grant is targeted to private property owners within Priority Zone 1. Buildings identified as having heritage value identified on the Town's municipal heritage register are eligible for an additional \$5,000.00 in matching grant assistance. For heritage buildings, façade improvements must be in accordance with the heritage conservation guidelines contained herein.

Alterations:

- Alterations to cultural heritage resources are strongly encouraged to retain and repair authentic heritage fabric wherever possible as opposed to replacement.
- Replacements should be undertaken in-kind, using like-materials, either replicating or complementing, as appropriate.
- Alterations to cultural heritage resources should be compatible with, and sensitive to authentic elements, attributes and architectural styles.
- Alterations to cultural heritage resources should contribute to and not detract from, the identified character of the property or feature.
- Alterations to cultural heritage resources should be undertaken in such a way that identified heritage attributes that are visible from the public realm (or included in the designation By-law or HCD Plan for those properties which are designated) are retained and conserved.
- Alterations should be compatible with and contribute to the heritage character of the area in terms of scale and massing, height, setback, materials, windows and glazing, paint colours and finishes.

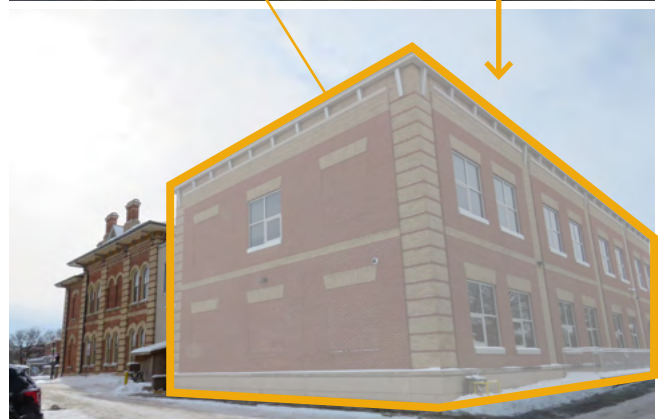


Example of an alteration/addition in size and scale to the character of surrounding area.

Additions:

- Additions to cultural heritage resources should be located at secondary elevations (i.e. to the side or rear of the building and sited away from any front or primary elevation(s) of the building).
- Additions should be compatible with, distinguishable from, and subordinate to cultural heritage resources.
- Additions should be products of their own time, using contemporary materials and not re-create historical styles or attributes which gives the impression that they are authentic.
- Additions should be designed to minimize its scale and massing, where possible.
- Additions should complement the rhythm of the building of cultural heritage value or interest through the use of positive and negative space, as well as windows and doors.

EXAMPLE OF AN ADDITION LOCATED TO THE SIDE/REAR YARD AWAY FROM PRIMARY ELEVATION

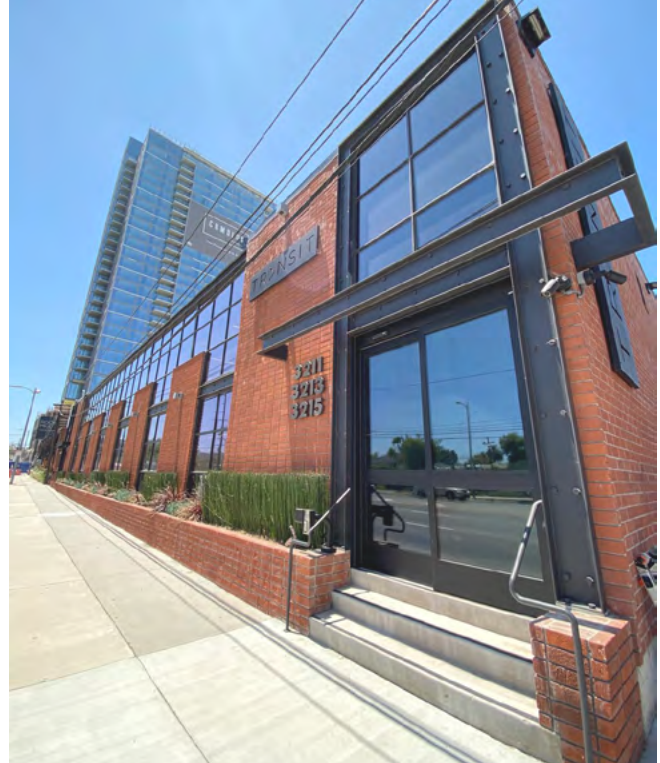


Massing & Fabric:

- The retention and repair, rather than replacement of authentic historic materials is strongly encouraged.
- Where authentic materials cannot be repaired, they should be replaced in-kind. This includes materials for roofing, cladding, windows and other structural elements.
- In some cases, high quality modern materials that simulate the look and feel of historic materials may be appropriate, provided that they maintain the overall character of the cultural heritage resource and identified character of the area.



New development within a heritage context should maintain continuity in streetwall heights and rhythm.



Example of how high quality modern materials can be incorporated into an existing building to enhance character and facade.

Windows & Doors:

- The retention and conservation of original or authentic heritage window and door fabric is encouraged, rather than replacement (including sills, lintels, and other elements which are integral components to the window or door opening).
- Conserve the form, patterning, proportion and rhythm of original or historic windows and doors and their openings.
- If original or historic windows or doors are beyond “reasonable repair”, replacements must complement the existing window and door openings and the architectural style and features of the building. This includes consideration for appropriate design, appropriate contemporary materials, size, proportion, glazing pattern and detailing.
- When replacing original windows which are beyond reasonable repair, the use of natural materials (such as wood) rather than synthetic or composite materials is preferred. In some cases, composite or synthetic materials (such as fiberglass) may also be appropriate where it resembles the quality and character of original wood windows.
- When introducing entirely new window or door openings, ensure that the size and proportions of the openings are compatible with the architectural style of the building and if possible, locate them away at facades of the building which are not visible from the public realm.



Paint Colours & Finishes:

- The paint colour and finish of a building is considered temporary and may change over time. It is not the intention of this document to regulate paint colours provided that it does not result in the removal of heritage fabric.
- Many paint manufacturers (e.g. Benjamin Moore and Para Paints) provide a Canadian historical colour palette as well as suggestions for colour combinations for trim, windows etc. The use of historic colour palettes is encouraged, but not required within the Downtown.
- A low sheen paint finish is recommended to hide small imperfections on the exterior of historic buildings may be preferable.
- Gentle methods of exposing earlier paint layers may assist in determining original or early paint colours.
- The painting or application of any new cladding (such as stucco) of buildings constructed of un-painted brick or masonry is strongly discouraged. The re-painting of masonry that which has already been painted is acceptable.
- The removal of paint from brick and masonry may be considered by the Town in cases where it a) can be demonstrated that it is appropriate, maintains the historical and structural integrity of the building, and b) uses the gentlest means as possible so not to damage the building, and c) that the work plan includes appropriate repairs to masonry once the paint has been removed.



2.4 | Site Plan Design Guidelines

Building Location & Orientation

- Where feasible, encourage building placement at the minimum setback required by the Zoning By-law, thus avoiding large setbacks and substantial areas of surface parking in the front yard.
- Buildings should be sited to address adjacent public streets and are to be oriented to be directly accessible from public sidewalks or public roads.
- Buildings with articulated facades adjacent to public streets are encouraged, and should occupy a portion of the primary frontage of the site.
- Buildings should be sited to locate the main entrances towards the street. If this is not possible then they should be directly visible, easily accessible and as close to the street as practically possible. They should also provide a sense of enclosure and be designed to give maximum protection from wind and rain for comfortable and safe pedestrian access.
- Where buildings are located in proximity to street corners, their design shall address both streets through massing, building articulation and landscape design and give prominence to the street corner.
- Future additions or redevelopment should address the potential of including additional street-related buildings to promote a more urban and pedestrian-oriented streetscape.
- Where buildings abut each other, some details should carry over or show a clear relationship. Compatibility and harmony should guide building design at both the overall and detail levels.
- Site layout and building orientation should be designed to maximize solar gain, the capture of solar energy through building elements like windows, as a form of passive heating for built form.
- Site plans will be subject to any local tree preservation by-laws.



Building main entrances should be easily accessible and situated towards the street.



Buildings should have articulated façades adjacent to public streets with direct access to public sidewalks and roads.

Access, Circulation & Parking

- Consolidate access roads and driveways wherever possible to minimize disruption of the public sidewalk and to facilitate traffic movement to public roadways.
- Vehicular entrances to parking lots should be located on side streets, wherever possible.
- Clearly delineate vehicular and pedestrian access and circulation routes within a proposed development.
- Provide pedestrian walkways along building frontages at a minimum width of 1.5 metres.
- Pedestrian walkways shall be developed between parking lots and the public street. These walkways should be landscaped and lighted to encourage convenient, safe and frequent public use. These walkways should also be barrier-free by allowing unobstructed views from one end to the other.
- Direct, well-lit, and barrier-free pedestrian walkways should be provided within larger surface parking lots to provide safe connections to building entrances. Walkways connecting transit stops/shelters to building entrances are also encouraged.
- Ensure landscaping and signage does not interfere with visibility of both vehicular traffic and pedestrian routes.
- Encourage location of parking areas to the rear or in the interior side yard of the building. On corner lots, parking areas should not be located on an exterior side. Parking in the front yard should have appropriate landscape screening.
- Parking and access shall be designed to avoid potential pedestrian and vehicular conflicts through clearly demarcated circulation routes, pavement marking, and wayfinding signage.
- Where visitor parking and drop-off areas are located between the building and street, they should be designed to minimize conflicts with pedestrian connections.
- Large expanses of unbroken surface parking shall be avoided, and landscaping shall be used to define smaller areas within surface lots.
- Maximize greening of parking lots to reduce the heat island effect, and improve on-site stormwater management.
- Provide snow storage areas in the design and layout of the site.
- Existing on-street parking should continue to be provided. Through any future municipal streetscape projects, consideration should be given to expanding the extent of on-street parking.



Sidewalks should be provided between parking lots and public streets.

2.5 | Signage & Lighting

Signage

- Permitted signage types must comply with the Sign By-Law.
- Signage should be integrated into the overall design of the façade and should positively contribute to the overall streetscape and existing character of the area.
- The shape, material, texture, colours and method of signage should all be compatible with the building's architecture.
- Sign location should not compromise pedestrian and vehicular sight lines in order to ensure the safety of movement.
- A sign should be in proportion to the building and not dominate or overwhelm the façade and should be scaled to the requirements of pedestrian viewers.
- Locate free-standing and high-quality design signage along the site frontage where buildings are set further back from the roadway; locate near the site entrance.
- Consolidate multiple unit identification signage as a free-standing and high-quality design feature, located along the site frontage.
- Rooftop signs are discouraged.
- Electronic messages on digital signage with visible effects during the message transition, including fading, flashing, or motion are discouraged for safety reasons.
- To reduce the impacts of light pollution, the illumination of signage is discouraged during off-peak hours.
- New signage may be eligible for the Comprehensive Façade Improvement Grant Program.



Various forms of signage incorporated into the building façade and site design.

Lighting

- Lighting should be chosen to ensure that the design, location, intensity and emitted colour are appropriate to permit safe access to the building and clear visibility of signage only.
- Lighting should be low light that illuminates only the sign band and building entrances.
- Excessive illumination of buildings should be avoided.
- Incorporate and locate lighting to allow for surveillance, particularly around building entrances and parking facilities. Ensure lighting design provides even light and avoids shadows and glare.
- In street environments where buildings are built to the edge of the sidewalk, fixtures are encouraged to be mounted directly on buildings.
- Building lighting should be used to accentuate prominent buildings, landscape features and high profile locations.
- Accent lighting to emphasize built forms and landscape elements is encouraged.
- Light emitting diodes (LEDs), solar power, road reflectors and other alternative lighting and energy sources should be encouraged for energy efficiency.
- Exterior lighting shall be full cut-off (dark sky friendly).



Examples of lighting integrated into building design with accent lighting to emphasize landscape elements.



Provide adequate illumination that is continuous across the building facade. Views between interior and exterior through the location of windows.

2.6 | Landscaping

- Landscape plans shall be in accordance with the Town of Orangeville Site Plan Approval Procedures and Design Guidelines.
- Design landscape to include planting configurations and species that reflect the focus area.
- Plantings should be predominantly perennial and provide seasonal changes and interest. Climate impacts (wind, sun, snow, salt, etc) should be considered during landscape planning.
- Landscape Plans should provide a palette of planting that is sustainable, native, non-invasive, salt and drought tolerant, and resistant to diseases and pests.
- Landscape plans should integrate stormwater and drainage requirements into the landscape design, such as low impact landscape techniques (rainwater gardens, swales) and plant materials that slow run off and increase infiltration.
- On sites where buildings are to be located close to the front lot line, landscape planting will be required in order to frame the building.
- Low fencing, combined with low shrubs, may be used along property lines to screen parked vehicles, and also to provide visual interest and a clear delineation between private and public areas.
- Outdoor amenity areas, including patios, should be thoughtfully incorporated into the site design and defined by the building to minimize sun and wind impacts. Amenity areas should include landscaping, seating, shelter, and receptacles so that users have an enjoyable and comfortable outdoor space.
- Where a non-residential development abuts existing residential development, landscaping shall be used to provide privacy. This may include the provision of a landscape strip along the rear or side property lines.
- Tree planting and softscaping is highly encouraged throughout parking areas to reduce urban heat island effects.
- Design landscape areas in line with Crime Prevention Through Environmental Design (CPTED) principles, avoiding entrapment areas or impeded views, and reducing the impact of screening and buffers.
- Open space and landscape design should adhere to the principles of Low Impact Development (LID).
- Where possible, street trees shall be provided along site frontages and may be permitted within the right-of-way.
- Landscape plans shall be in accordance with Town site plan requirements. Generally, street trees should be planted every 10 metres on centre.



Examples of landscaping to screen parking areas.

2.7 | Built Form Design Guidelines

Height & Massing

- Design buildings with height and massing that create and reinforce pedestrian-scaled environments.
- The bulk or mass of buildings, in conjunction with setback lines, should, where possible, establish a consistent urban streetscape to assist in defining a recognizable street edge.
- Building massing should be designed to minimize impacts on adjacent properties with respect to privacy overview and sunlight access.
- Increases in height above zoning permissions may require additional technical analysis. For buildings that are six storeys or more in height, the Town may require the preparation of shadow studies.
- Building massing should include variations in the building envelope to allow for elements such as entrances, forecourts, or other specific building articulations. These elements should provide interest and detail when viewed from the public street, particularly at corner locations.
- Articulate building(s) at corners and entrances for visual interest such as with increased height, use of architectural projections, variations in the roofing, or changes in materials such as increased glazing to also help activate the public realm.
- For new buildings, the massing and height should generally be related to the adjacent buildings. Notwithstanding, new single storey buildings are generally discouraged regardless of adjacent building heights.
- Mid-rise development adjacent to low-rise residential areas may need to incorporate transitional elements into the development such as increased setbacks or height transitions.
- Larger buildings should use window openings and other architectural elements to break down the mass into smaller components.
- In areas where increased height is appropriate, denser forms of multiple residential development including stacked townhomes may be appropriate.



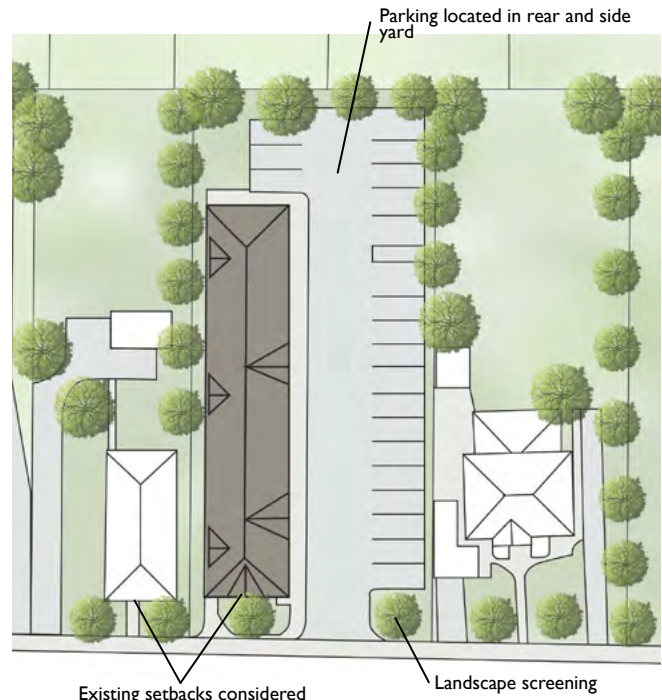
Example of building height transition and variations in building envelope.



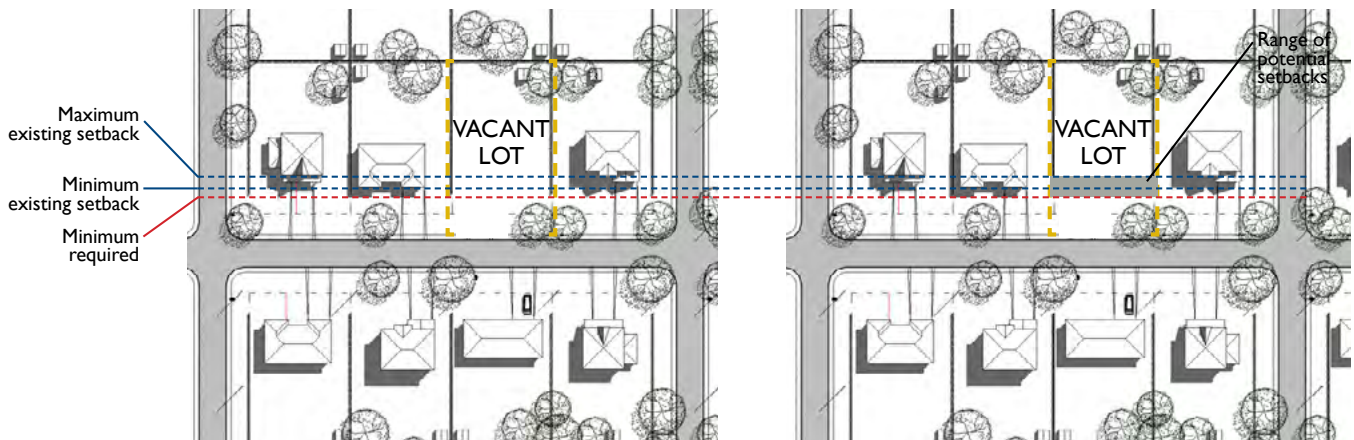
Example of landscaping used as a buffer to adjacent residential areas.

Frontages & Setbacks

- Where appropriate, encourage building placement at the minimum setback required by the Zoning By-law, thus avoiding large setbacks and substantial areas of surface parking in the front yard.
- It is encouraged that the length of the building frontage should be in proportion to the lot frontage.
- In addition to building setbacks, a sense of separation should be created between public streets/sidewalks and building entrances with the use of landscape features.
- Corner buildings should be located at the minimum building setbacks in order to enhance the role of these areas as focal points.
- Buildings and main entrances should be designed to create a consistent street edge and frame adjacent streets.
- The provision of landscaped open space and amenity areas such as entrance plazas, forecourts and outdoor cafes are encouraged in places where buildings are not built to the street line. These open space areas can provide added interest to the street environment.
- On streets with a consistent front yard setback infill buildings should generally be located at the same setback as existing development.
- Where setbacks along a street vary, a range of setbacks may be appropriate for proposed development with consideration to the minimum and maximum setbacks of surrounding buildings (see diagram below).
- Increased setbacks may be appropriate in order to maintain mature trees or other features.



This building orientation maintains similar building widths along the street and considers existing setbacks.



While the above depicts a residential area, the same principle can be applied to non-residential development.

Entrances

- Orient main entrances towards the public realm to improve legibility and contribute to the pedestrian environment.
- Main building entrances should be located along the primary building elevation.
- Doorways/entrances to buildings, especially commercial buildings, should be prominent and visible from public streets.
- Main building entrances must be accessible by public walkways and/or pedestrian sidewalks.
- Architectural features to emphasize entry areas and other special building areas and relieve large expanses of solid wall are encouraged.
- Main entrances to buildings should be emphasized through the use of awnings or other overhangs to provide weather protection for pedestrians, as well as providing colour and visual interest.
- Where possible, main entrances should be located within 30.0 metres of designated barrier free parking spaces.
- Building entrances should be barrier-free, and should incorporate ramps, automatic doors and be accessible by public walkways and/or pedestrian sidewalks. Improvements to existing buildings which lack barrier-free access should be encouraged, where possible.



Locate building entrances close to the street with direct access to public sidewalks. Elements that provide weather protection over main entrances are encouraged.



Example of a multi-tenant building with main entrances emphasized with architectural features.

Mechanical Equipment & Utilities

- Where possible, screen utilities from public view or integrate all-major structures of the buildings function (i.e. mechanical units, venting) into the overall design of the building.
- Minimize the visibility of building utilities, vents, service meters and connections on façades that face the street by screening these features with building or landscape elements or by integrating into the overall design of the building.
- Where feasible, locate these features in the rear or side yard to ensure they are not visible from the public realm.
- Wherever possible, incorporate rooftop mechanical equipment directly into the structure and design of the roof to minimize the visual impact. All roof top mechanical units are to be screened in all directions. Such screening shall be compatible with building design in form, materials and colour.
- Private electrical and utilities equipment shall not be located within the Town's right-of-way.



Examples of screening for utility and mechanical equipment.



3

SUPPLEMENTAL DESIGN GUIDELINES

The following sections provide supplemental design guidelines for specific areas within the Town, and for specific types of development. These guidelines are to be read in conjunction with the General Design Guidelines outlined in **Section 2.0**.

In cases of conflict between the General and Supplemental Guidelines, the Supplemental Guidelines will prevail. As with the General Design Guidelines, the Supplemental Design Guidelines do not supersede legislative requirements or other Town, agency standards or zoning requirements.

3.0 | Downtown

Downtown Orangeville is located within Priority Zone 1 of the Community Improvement Plan and includes properties along Broadway generally bounded by Faulkner Street to the east, First Avenue to the north, 3rd Street to the west, and Armstrong Street to the south. The area predominantly consists of two and three storey buildings including a high concentration of heritage buildings. Buildings are generally located close to the street edge providing a comfortable pedestrian environment and opportunity for a dynamic public realm.

Section B2.14 of Town's Official Plan identifies the following goals for the Downtown:

- To maintain and enhance a vibrant, mixed-use environment in Downtown Orangeville, by establishing a long-term program of community improvement projects, and a strategy for implementing improvements in a planned and co-ordinated manner.
- To support Downtown's long-term marketplace success, employment opportunities, tax revenue, increased residential use and its role as the Town's main focus of commercial, office and institutional activity.
- To maintain and enhance the primacy and character of the Downtown as the historic core of Orangeville, through heritage conservation and streetscape improvements, and by ensuring the compatibility of new development within and adjacent to the Downtown.

To support the goals outlined in the Official Plan and in addition to the general guidelines outlined in Section 2.0, development within the Downtown should consider the following:

Signage

- Back-lit signs shall be prohibited.
- Types of permitted signs include: wall-mounted signs, projecting signs, awning signs, window lettering provided that such signage does not impact accessibility.
- Letter forms and designs should occupy no more than two-thirds of the total sign area.
- Traditional materials such as wood, metal (brass or bronze), leather, glass and fabric are to be used.



Examples of signage within the downtown.



Comprehensive Façade Improvement Program

The Façade Improvement Grant is targeted to private property owners within Priority Zone 1 of the Community Improvement Plan. Priority is given to commercial retail, office and commercial mixed-use properties. A grant up to 50% of eligible costs, or a maximum grant of \$12,500.00 per property, whichever is less, may be available. Signage grants are available only as a part of a larger façade improvement application and must comply with any in-effect Sign By-laws. The maximum signage grant is the lesser of \$2,500 or 50% of signage-related costs. Signs play a key role on commercial streets and traditionally have a standard location and format. They should not overpower the façade but harmonize with the design and historic period of the storefront. The message should be clear and visible to pedestrians. More contemporary signs may also be permitted provided the scale is appropriate to the overall building façade. The Town of Orangeville sign by-law provides further direction as it relates to sign design and permissions. See **Appendix B** for details on the Façade Improvement Program including facade design guidelines.

Landscaping

Within the downtown, buildings are typically located immediately adjacent to the property line, which limits landscape opportunities. Where opportunities for new landscaping exists, the following guidelines shall apply:

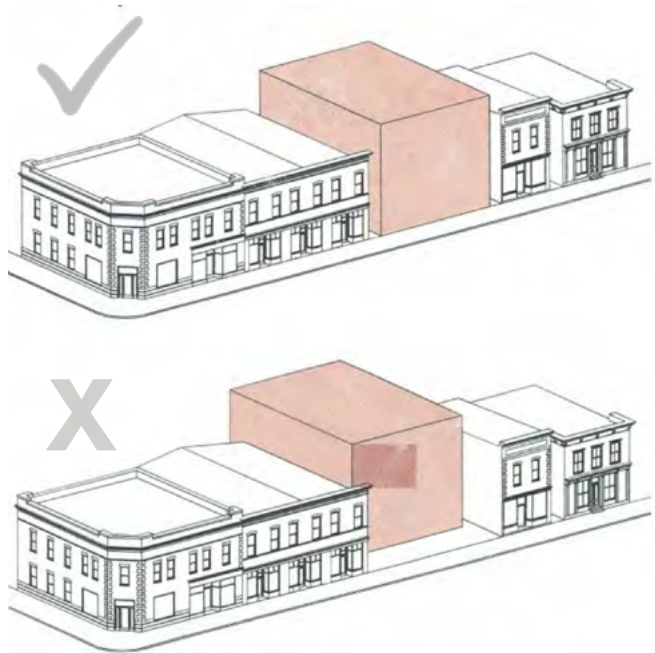
- Where there is insufficient space for landscaping across the building frontage, consider the inclusion of planters and/or utilizing the rooftop for amenity areas, open space and plantings.
- Where yards or open space between buildings exist, landscaping elements at the street edge and through parking areas is encouraged.
- Pedestrian amenities, including walkways, seating areas and human scaled design elements should be provided.



Examples of public realm landscaping within the Downtown.

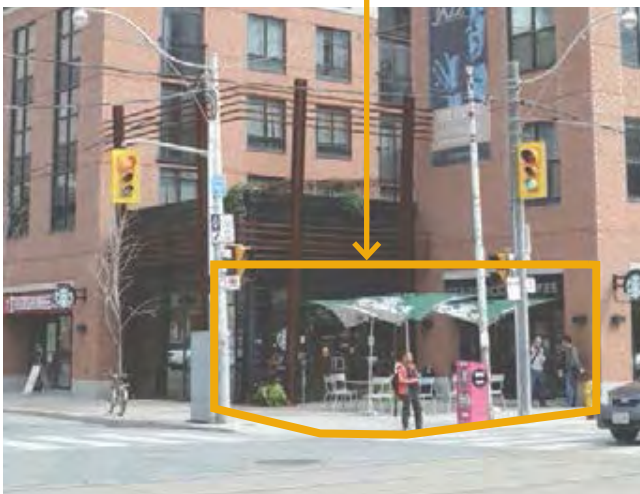
Frontages & Setbacks

- The front building walls are encouraged to align with the front walls of adjacent buildings in order to maintain a consistent street edge.
- The front building wall of new infill buildings should occupy a majority of the lot frontage to minimize gaps between buildings. Traditional urban form in the Downtown is established by small scale attached buildings with no open space between them. Where breaks in the street building wall occur, the continuation of the linear street form will be encouraged with the use of site elements such as street trees, planters, gates or low walls.



New buildings should be placed to reinforce the traditional street-wall pattern matching the setbacks of existing buildings. An inconsistent setback is not recommended (above).

OUTDOOR AMENITY AREA TO ACTIVATE THE CORNER



An outdoor amenity area at the corner provides seating in an area where the buildings are not built to the street-line.

OPPORTUNITY FOR NEW INFILL DEVELOPMENT TO CONTINUE STREET FORM



Example of an area where infill can be incorporated into the existing street-wall pattern and create a continuation of the linear street form.

Building Style & Character

- Building materials and colours should generally complement colour palettes from adjacent buildings and surrounding public space. Notwithstanding, the use of contrasting colours can work effectively, in particular for building additions where the addition is intended to be a contemporary element separate from the original building.
- Define street corners of an intersection with prominent architectural design forms through massing and detailing.
- Implement strategies to contribute to pedestrian scale development including the provision of large ground floor windows, entrances that face the public street and maintaining the traditional setback.
- New infill development can be contemporary in design but should maintain the scale of adjacent buildings. Window openings for new buildings should continue existing scale and patterns of historic buildings. Maintaining a consistent cornice line also helps to ensure an appropriate integration of new buildings within the historic downtown.



1



2

The above examples show two different approaches to building additions. Image 1, the addition used similar building materials and colours as the original building. Image 2, the addition incorporated a contemporary addition with materials and colours that contrast to the original building. Both are appropriate as in both instances, the addition is of an appropriate scale and mass relative to the original building. Both additions contribute positively to the surrounding streetscape.

Height, Massing & Scale

- The scale of new buildings should consider adjacent building heights. Generally a 2-3 storey building height is desirable within the Downtown. Where buildings are proposed above three storeys, a step-back should be incorporated to visually minimize their perception by pedestrians at street level.
- One storey buildings are discouraged. Where proposed, the building should incorporate additional height or rooflines to raise the building height upwards of two stories.
- The roofs of new buildings should be sloped in a manner that maintains the historic residential appearance.
- Redevelopment of existing single storey buildings and second/third storey additions are strongly encouraged, in particular if additions provide for additional residential units.



Example of a new build which incorporated architectural detailing that successfully breaks the building mass into three separate components, in keeping with the scale of surrounding development.



Example of how high quality modern materials can be incorporated into an existing building to enhance character and facade.

New Buildings & Additions

- New buildings should fit into Downtown Orangeville’s existing character, and respect existing scale, massing, height, fenestration, and roofing patterns to successfully blend into the existing streetscape.
- New buildings in the Downtown should be of their own time and not replicate authentic architectural styles.
- Infill development adjacent to existing heritage resources shall be in accordance with relevant heritage policies contained within Section 2 of this document.
- Infill should be sympathetic to, and compatible with, the identified heritage character of the Downtown.



Example of existing one-storey buildings with the opportunity to add new units above to enhance the public street and spaces.

Major Building Improvement & Conversion Grant Program

The Major Building Improvement and Conversion Grant Program is intended to improve older building stock through significant capital works to enhance the economic viability of commercial buildings. This includes the potential for conversion of upper floors for leasehold use either as residential, commercial or non-for-profit institutional uses. This Grant may also apply to additions which result in new second or third storey leasable space. The Grant program provides a secured, interest-free forgivable loan that can be used towards code upgrades; retrofits and conversions, electrical, mechanical and HVAC systems and structural work including additions. To be eligible for the grant, an exterior changes as a result of the works shall be designed to ensure a high quality of design and a positive contribution to the streetscape. This includes the use of exterior building materials which complement materials and colours used for the ground floor and the inclusion of multiple windows and openings, consistent with the pattern of window openings within surrounding buildings. For conversions and additions that have façades visible from the public realm, blank elevations will not be permitted.

- Ensure new infill development faces and animates the surrounding public street(s). Ground floors with principal entries, windows, and commercial uses at street level contribute positively to the streetscape.
- Where a consistent setback exists on a block, that setback should generally be respected with new development not projecting over the setback or creating a gap in the established building line. Notwithstanding, in some instances the Town may encourage an increased setback in order to provide for enhanced landscaping, patio areas and/or a small forecourt/urban park.
- New buildings on prominent intersections should be designed to frame the intersection by locating new buildings or other structures close both abutting streets.
- Design infill to be rich in detail and to enhance public streets and spaces, while also responding to the established patterns of the street and area. To appropriately transition into an established community, consider elements from the surrounding area such as materials, patterns and colours; cornice lines, form of the roofline; size, shape, placement and number of doors and windows; and the pattern and location of projections and recesses.

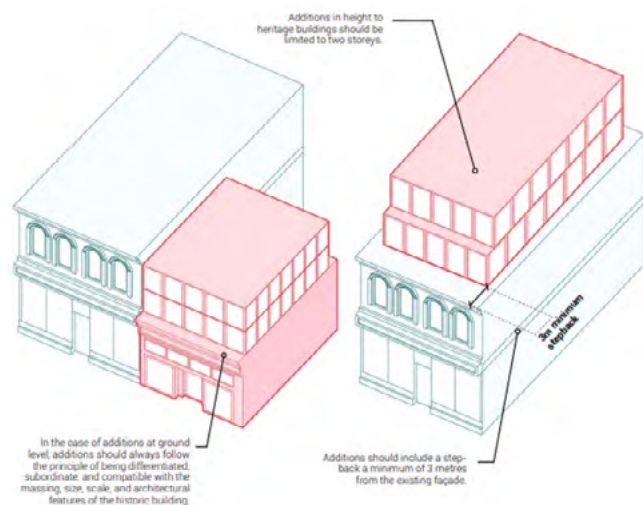


Illustration demonstrating how additions could be incorporated into existing buildings.

3.1 | Commercial Areas

Priority Commercial Areas within the Town are located within Priority Zone 1 of the Community Improvement Plan and include Service Commercial and Neighbourhood Commercial land-use categories, permitting a variety of community and commercial uses and dwelling units on upper floors. Service commercial areas intend to provide specialized products or services relying on greater exposure to the traveling public and are readily-accessible to major transportation routes. Neighbourhood commercial areas are situated in response to nearby residential uses and permit retail, offices, personal services and residential uses on upper floor.

The commercial guidelines within this section may be used by the Town to review any commercial development applications, including applications for commercial properties outside of Zone 1.

In addition to the general guidelines outlined in Section 2.0, development within the Commercial areas should consider the following:

Heritage Conservation

Where a new or infill development is to be constructed adjacent to a building of architectural or historical significance (including designated or listed properties) the Town may request the preparation of a Heritage Impact Assessment to assess the proposed development relative to surrounding built heritage resources.

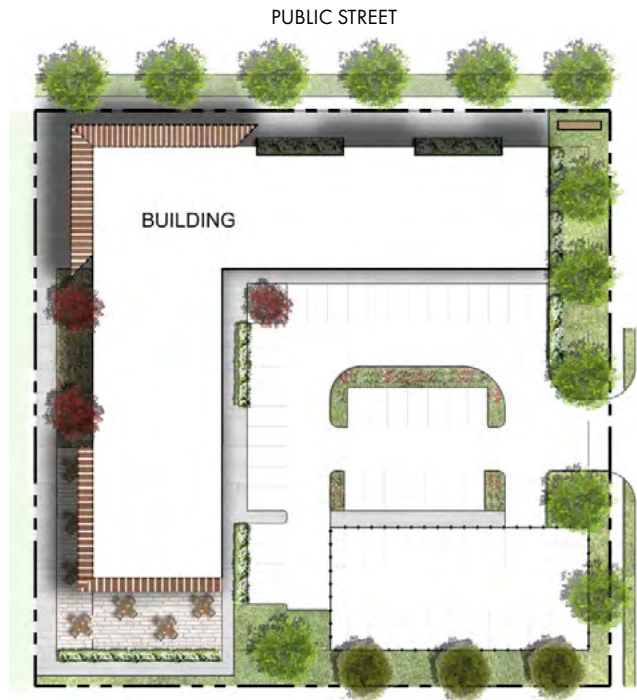
The Heritage Conservation guidelines contained within Section 2.0 of these guidelines shall also apply within Commercial Areas.

Comprehensive Façade Improvement Program

The Façade Improvement Grant is targeted to private property owners within Priority Zone 1 of the Community Improvement Plan. Priority is given to commercial retail, office and commercial mixed-use properties. A grant up to 50% of eligible costs, or a maximum grant of \$12,500.00 per property, whichever is less, may be available. Signage grants are available only as a part of a larger façade improvement application and must comply with any in-effect Sign By-laws. The minimum sign grant is \$1,000.00. Signs play a key role on commercial streets and traditionally have a standard location and format. They should not overpower the façade but harmonize with the design and historic period of the storefront. The message should be clear and visible to pedestrians. More contemporary signs may also be permitted provided the scale is appropriate to the overall building façade. The Town of Orangeville sign by-law provides further direction as it relates to sign design and permissions. See **Appendix B** for details on the Façade Improvement Program.

Building Location & Orientation

- To improve building relationship to the public streets, reductions to front yard setbacks may be permitted.
- Existing commercial developments may have more parking than required by demand. Intensification of existing sites to include new freestanding buildings and/or second storey leasable space is generally encouraged to better utilize serviced sites. Where such intensification results in a loss of parking, the Town may require a parking study that examines current parking demand on the property.
- Within existing shopping plazas, placement of freestanding commercial buildings closer to the street should be strongly encouraged to foster a visually pleasant and pedestrian friendly streetscape environment, while ensuring the overall parking supply will not be compromised.
- Where a wall abuts a public street, the fenestration design of the façade should have sufficient details and glazing material. Where glazing cannot be provided, the building façade design should be augmented with an enhanced landscaping edge to assist in establishing a visually pleasant streetscape.



Example of locating building close to the street edge with parking supply at the side/rear.



Example of Commercial Architectural Design by Bingell Watkins Hasser Architects.

Access & Circulation

- On larger sites, provide accessible walkways and special paving to denote pedestrian flow across private driveways and parking lots for increased safety and convenience.
- Locate secondary entrances and access off local roads to maximize access and exposure from the public right-of-way(s).
- Landscaped traffic islands should be used to delineate the main drive aisles, subdivide large parking areas into smaller “courts”, and improve edge conditions between the public street and adjoining properties.



Provide accessible walkways with special paving to denote pedestrian flow across private driveways and parking lots.

Parking

- A minimum 2.5 metre strip of land in front of the building face should be maintained for pedestrian circulation and landscaping. Patio space is also encouraged.
- Where feasible, shared parking facilities between multi-use facilities on a single site should be used to encourage optimum daily usage.
- Where large surface parking areas are provided, including parking areas for trucks, opportunities to integrate Low Impact Development (LID) technologies should be implemented, including permeable paving and bioswales.



Ensure land in front of building face provides space for pedestrian circulation, amenity areas, and landscaping.



Example of parking area maximizing greening.



The Boardwalk, Kitchener-Waterloo ON.

Landscaping & Signage

Landscaping:

- Planting strips with minimum widths of 3.0 metres should be provided between the street line and parking lots.
- Where commercial properties have parking lots which are adjacent to each other, a shared landscape buffer with a minimum total of 3.0 metres should be provided between lots, except where shared driveway access occurs.
- Where feasible, if loading and servicing is proposed adjacent to the street, provide a continuous landscaped strip between the loading and servicing area and the street edge.
- In front yard areas, decorative fences higher than 0.9 metres are prohibited and continuous planting of tall shrubs and coniferous trees, which obscure pedestrian views, will be discouraged.



Example of parking boiawale and landscape screening strip to buffer parking area.

Signage:

- Signs marking the gateways should reinforce a sense of arrival to the commercial area. Gateway sign designs and locations should be clearly visible and relate to both the scale of vehicles and pedestrians.
- Freestanding signs addressing private development should be consolidated for each development and located within the property line perpendicular to the street line and mounted in a landscaped setting. Sign materials should be consistent with the building design.
- Front lit signage, back lit individual block letter signs and/or logo signage is required, particularly those that face the public street or are parallel to a pedestrian walkway.
- Encourage directional signage to provide information including entrance/exit locations, pick-up areas, barrier free parking areas, and loading areas.



Examples of commercial plaza building signage and lighting incorporated into the building facade/design



Examples of a high quality signage/building address.

3.2 | Employment Areas

Orangeville's primary employment area is located within Priority Zone 2 of the Community Improvement Plan and is situated along Centennial Road south of Broadway towards the west side of Orangeville. The area predominantly consists of industrial uses with some institutional and neighbourhood commercial uses. The Centennial Road Employment Area is primarily zoned General Industrial, however there are some properties that are zoned as Institutional. The Town may, at its discretion, apply the Employment Area guidelines to other employment areas within the Town.

The streetscape in this area represents an opportunity for improved landscaping, signage and pedestrian connectivity. In addition to the general guidelines outlined in Section 2.0, development within employment areas should consider the following:

Building Design and Orientation

- Industrial buildings should locate offices and entrance elements towards streets and intersections.
- Orient building(s) to have primary pedestrian frontages along Centennial with secondary frontage and access off local roads to maximize access and exposure from the public right-of-way(s).
- Orient building entrances and semi-private amenity areas (e.g., patios, amenity areas, etc.) to interface with the public right-of-way along the road.
- Maximize exposure for office areas, if applicable, to primary street frontages and key site views.
- Optimize the length of the building façade adjacent to the street so that it is proportional to the width of the lot and occupies a significant portion of the street frontage.
- Additional height for portions of the building facing the street is encouraged.
- Use high quality and durable cladding materials and finishes that create a unified appearance of a modern and prestigious business park, such as masonry (stone/brick), glazing, aluminum composite panels, and complementary materials.



Orient buildings closer to the street with primary building entrances along street frontage with direct access to pedestrian walkways.



Articulate buildings at corners and entrances and use high quality durable cladding materials and finishes.

Access & Circulation

- Sites should be designed to give priority to pedestrian access and circulation. Truck access shall be planned to avoid non-motorized conflicts.
- Access for trucks (i.e. for servicing and loading) should not conflict with general passenger vehicle circulation. Separate entrances are encouraged where possible.
- The implementation of clear signage will assist orientation on public walkways and through public spaces and amenity areas.



Example of a barrier-free entrance incorporating high quality architectural features and building facade



Example of elements incorporated into main entrance design to increase safety and security.

Active Transportation

- Provide pedestrian walkways from parking area to the building(s).
- Provide well-lit, well-marked, at-grade and safe bike storage on site.
- Provide well-lit and well-marked connections and linkages to and from the bike storages as well as other related facilities to enhance the site for pedestrians and cyclists.
- Extend sidewalks across all driveway entrances and major pedestrian crossings internal to the sites.
- Provide safe separation between vehicular and pedestrian/cycling traffic on-site for safety, especially in parking lots.



Clearly defined pedestrian walkways from parking area to building entrances.



Example of clear and visible dedicated pedestrian walkways extended across driveway entrances. Rendering by NORR Architects & Engineering.

Parking

- Parking between the primary building elevation and the public street is discouraged. Notwithstanding, limited surface parking for Visitors (including barrier free parking) and office staff may be permitted within the front yard.
- Dedicated pedestrian walkways shall be incorporated through surface parking areas for employees and customers and defined through differentiated paving materials and landscaping. The amount of landscaping should be proportionate to the overall parking lot size.
- Where large surface parking areas are provided, opportunities to integrate Low Impact Development (LID) technologies should be implemented, including permeable paving and bioswales.

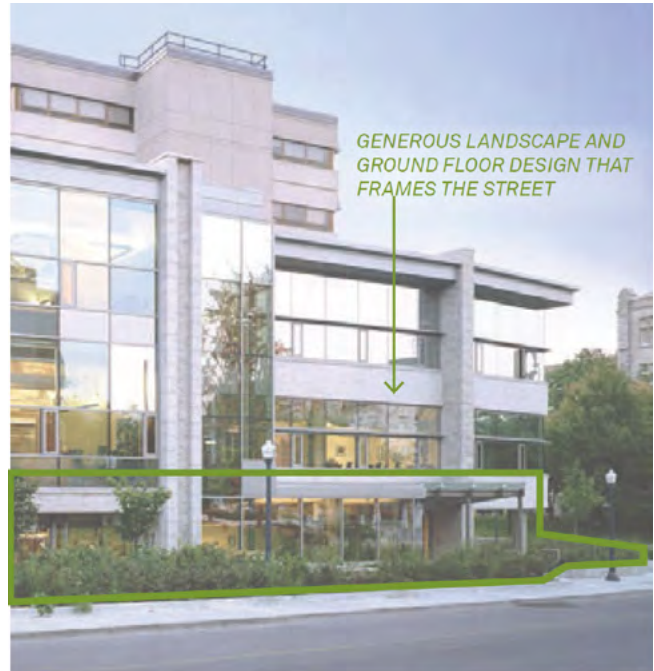


Locate parking to the rear and side of the building and provide landscaping to break up large surface lots.

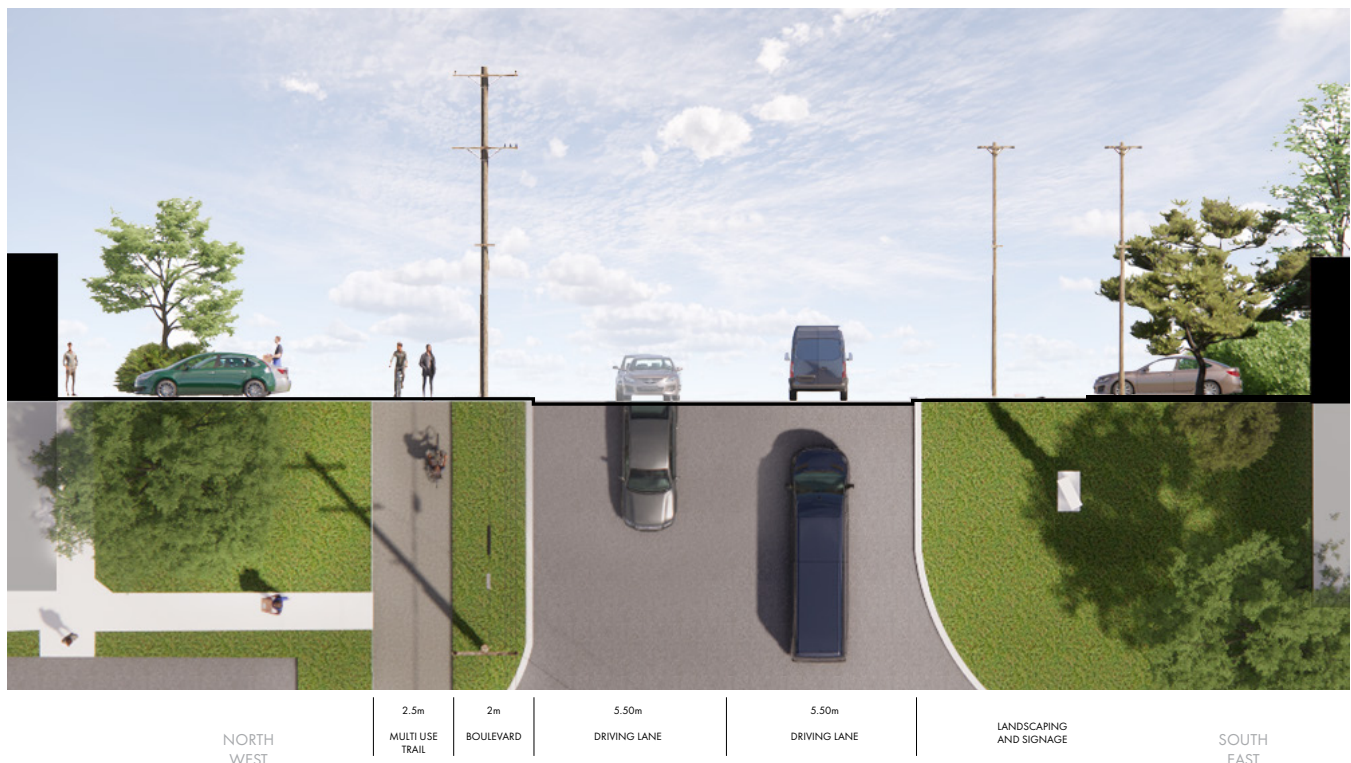
Landscaping & Amenity Areas

Landscaping

- Property owners are encouraged to take advantage of the Landscape Improvement Program for Employment Areas, which provides grants towards new landscaping and/or signage along the frontage of properties within Zone 2.
- Consider the use vegetation along the street fronts to enhance the interface between the public and private realm, while considering opportunities for on-site stormwater management (i.e., bioretention gardens, large stature trees, etc.)
- The use of low maintenance, drought resistant, non invasive, native plants and trees are encouraged.
- New landscaping should screen any outdoor storage or surface parking areas. In some instances landscaped berms can provide for a more attractive streetscape, especially for sites with large amounts of surface parking.



(Image Credit: Beamish-Munro Hall, B+H Architects).



Cross section of proposed improvements to Centennial Road, including a new Multi-Use Trail. Landscaping along the frontage of property properties is encouraged to frame the street and to create a more pedestrian friendly experience.

Amenity Areas

- For large developments provide high quality amenity areas.
- Provide elements to maximize human comfort in amenity areas (shade trees, structures, seating, landscape elements).
- Private amenity areas can include internal courtyards, or lunch areas, or outdoor patio space.
- Locate amenity areas away from service areas and parking lots where possible.
- Commercial developments with restaurant uses are encouraged to be designed with outdoor patios facing the public street.
- Design amenity areas in line with AODA requirements.



A centralized amenity space provides opportunity for social gathering and interaction.



A architecturally designed shelter creates an interesting and comfortable outdoor amenity space.

Landscape Improvement Program for Employment Areas

Grants are available for improved landscaping of industrial properties within the employment area. The maximum grant will be the lesser of \$20,000 or 50% of eligible costs, with a minimum eligibility threshold of \$5,000. Eligible costs range from minor existing landscaping enhancements to more substantial measures that support improved aesthetics, pedestrian access, hardscaping and entrance features. The focus should be on landscape improvements along the Centennial streetscape. Improved site signage, pedestrian connections from the public sidewalk to building entrances and landscaping that screens existing parking areas are all strongly encouraged. Landscape improvements should also consider pedestrian connections to the planned multi-use pathway along Centennial.

3.3 | Restricted Commercial/Residential Transition Areas

Restricted Commercial/Residential areas are portions of the Broadway and First Street corridors, leading to and from the Central Business District. These areas are designated in the Town of Orangeville Official Plan and are in transition from residential to commercial use. These areas provide an interconnecting linkage between the Central Business District and the General Commercial area in the Highway 10 corridor north of Fourth Avenue. The form of development is converted house-form buildings. When compared to the urban character of the downtown, these areas typically have: wider grassed boulevards; large mature trees; grassed front yards and deeper setbacks.

As outlined in section E2.8 of the Town of Orangeville's Official Plan, permitted uses include commercial and residential uses, alone or in combination. Retail uses may also be permitted in accordance with restrictions as to size and type established in the provisions of the Zoning By-law. Residential uses are permitted in the form of detached, semi-detached, duplex and triplex residences.

It is intended that, in the process of introducing commercial use, the residential character of the individual buildings and the general area will be maintained by sensitive conversion of existing house-form buildings or by development of complementary additions of new buildings, by control of signs visible from the exterior, and by properly locating and screening off-street parking. These matters will be regulated in accordance with the Zoning By-Law, and the process of conversion will be subject to site plan control.

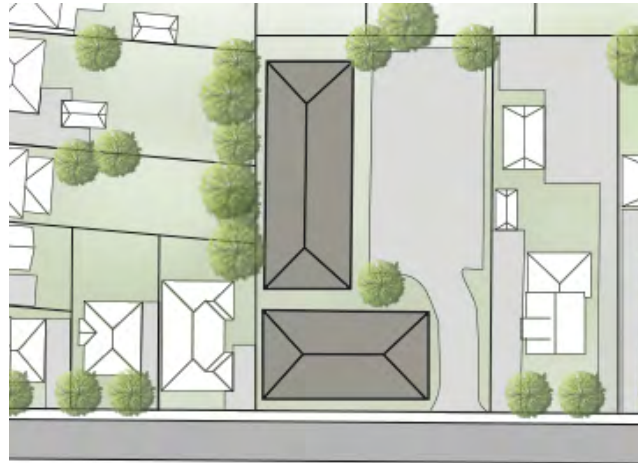
The following design guidelines relating to the Restricted Commercial/Residential Areas should be read in conjunction with the General Design Guidelines contained herein.

- Existing sidewalk widths and materials shall be maintained.
- Typically access will be limited to one driveway access per property.
- Access driveways should be minimized in width to maximize landscape opportunities.
- For residential units directly accessed from the public realm, efforts should be made to provide privacy and to differentiate between public and private space. This could include raising the entrances to 0.6m to 0.9m higher than the elevation of the abutting sidewalk to provide privacy; incorporating ground floor patio space; and/or providing for increased setbacks.
- Parking areas located in front of buildings or within the front yard is prohibited. The only exception is accessible parking spaces (if necessary).



Example of existing streetscape within the Restricted Commercial/Residential Transition Areas.

- For corner lots, vehicular entrances to parking areas should be located on side streets and entrances along Broadway should be avoided, where possible.
- Outdoor display and open storage areas are not permitted as not to detract from the residential character of the area.
- To maintain the existing streetscape character, tall fences and hedges are discouraged in front yards.
- Efforts shall be made to retain existing mature trees, especially along the street frontage. Where trees are removed for a development application replacement trees shall be provided in accordance with any Town tree by-laws.
- Parking areas that are visible from the street (i.e. on corner lots) shall be screened from public view through the use of landscape materials. Low fencing may also be used along property lines to screen parking areas.
- Where new infill development or redevelopment occurs on a site that contains or abuts a building of heritage significance, the Town will require the completion of a Heritage Impact Assessment (HIA) to assess the impact of the proposed development on the built heritage resource.
- A consistent setback forms part of the character within the Restricted Commercial/Residential Areas. New buildings should maintain the predominant setback of the block within which they are located, and ideally should match with setbacks of adjacent buildings.
- In addition to building setbacks, a sense of separation should be created between public streets/sidewalks and building entrances with the use of the front lawn and plantings.
- Ensure that design and construction reflect a high level of craftsmanship and are of similar or superior quality to buildings in the immediate context.



Example of locating parking lot to side/rear of building screened from the public street.



Example of an infill redevelopment that maintains a consistent setback to adjacent properties and provides exterior finishings similar to buildings within the immediate context.

3.4 | Multiple Residential

Multiple-residential buildings are often divided both vertically and horizontally. Multiple residential developments can be freehold, rental or condominium in tenure. This section applies to multiple residential development including dual frontage townhomes, stacked townhomes, and cluster townhomes.

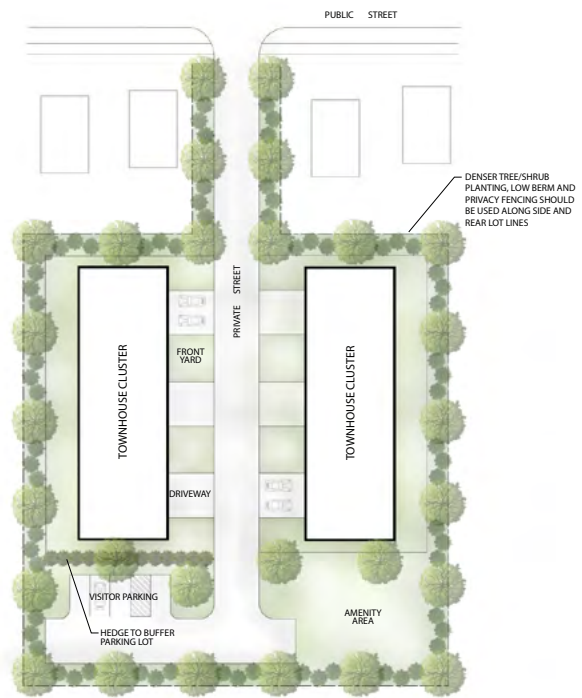
To support the goals outlined in the Official Plan and in addition to the general guidelines outlined in Section 2.0, Multiple Residential development should consider the following:

Building Orientation

- Design buildings abutting built heritage resources that complement the context and heritage characteristics and that incorporate compatible proportions, rhythm of façade openings and bays, height and setback transitions, enhanced façade articulation and materials.
- Cluster developments on private roads should be designed with consideration to the public street from which the development is accessed. Where frontage permits this may include orienting some units to face the public street. Where frontage is only wide enough to accommodate the private access road, landscaping and/or new street trees should be provided to frame the access.

Height & Massing

- Additional height for mixed-use buildings may be considered provided it is demonstrated that there are no adverse shadow impacts on existing residential development.
- Any new multiple unit residential buildings should be designed to retain the general massing character of large detached homes in scale and appearance. The exterior walls should not have the appearance of an overly massive building block.
- Individual residential units should have clear identities through varying architectural treatment. (i.e. varying facades, window sizes/styles, columns, etc. but should remain consistent in overall theme.
- Design townhouse blocks with a maximum of three storeys in building height and massing.



Example of cluster development on private road with minimal frontage.



Example of three storey multiple residential building with character of a large detached home.

Access & Entrances

- Where possible, accessible entrances should be provided for ground floor units of multiple unit developments.
- Pedestrian entrances to both single and multiple residential buildings should be spatially and architecturally prominent and welcoming.
- In multi-tenant development, the use of multiple pedestrian entrances into the building at street level is encouraged.
- For residential units directly accessed from the public realm, raise the entrances to 0.6m to 0.9m higher than the elevation of the abutting sidewalk to provide privacy. Incorporate stairs or ramps for barrier free access and create semi-private outdoor amenity spaces with landscaping, terraces, and low decorative fencing.
- On streets where multiple driveway accesses are not desired or permitted, consideration should be given to the inclusion of dual frontage townhomes which allow for front doors facing the street and parking in behind.
- Incorporate garage entrances that are flush with or recessed behind the building face and architecturally integrated into the main building massing.
- The use of landscaping at entrances to multiple residential sites is encouraged. Addressing or other signage should be incorporated with the landscaping.



Example of accessible ground floor entrance.



Example of landscaping used at entrances.



Examples of parking for multiple unit developments.

Parking

- Parking for stacked and mid-rise row housing should be provided in structured parking garages, surface communal parking lots, or underground; but should not be provided through street-facing garages.
- Within cluster developments private garages are permitted and encouraged, however accommodation should be made for visitor parking within the overall site design.

Amenity Space

- For dual frontage townhomes, private outdoor amenity in the form of front porches, balconies or decks is encouraged. Private amenity areas can be provided along the front or rear façade.
- For each residential unit, incorporate a private outdoor amenity space in the form of a roof terrace or balcony.
- Architecturally integrate balconies and other projections into the structure and detailing of the building. Recess, partially recess or cantilever balconies to provide sun access to the units below.
- Private outdoor amenity areas should be provided for ground floor units and such areas should be screened for privacy.
- For large, clustered row housing development, a communal outdoor amenity area should be provided.
- In areas that are well served by public parkland the provision of private outdoor amenity area may not be necessary.
- Locate and orient windows, decks and balconies to limit overlook into nearby windows and amenity spaces of adjacent properties while enabling “eyes on the street” for common public areas.
- Privacy fences should be provided along side and rear lot lines.



Architectural Details

- Ensure that design and construction reflect a high level of craftsmanship and are of similar or superior quality to buildings in the immediate context.
- Building articulation and architectural treatments should be incorporated for exposed building facades. Building facades along streets should include architectural features that provide pedestrian interest.
- Incorporate cladding materials that include brick, stone, metal, glass, wood, and in-situ concrete of high architectural quality. Incorporate high quality stucco only as an accent material. Vinyl siding, plastic, plywood, concrete block, tinted and mirrored glass, and metal siding are strongly discouraged. The use of local materials is encouraged.
- Reinforce the continuity of the street and create a strong community character by using consistent rhythms of similar pre-existing details and positive architectural elements.
- Incorporate environmental controls into the building design to regulate sun and wind exposure, such as canopies, awnings and louvers.
- On exposed end walls along an interior side lot line without openings, use the same building materials and detailing that complement the overall building design to prevent an undesirable visual appearance.

3.5 | Apartments

For the purpose of these guidelines apartments are described as larger multiple residential buildings that share interior corridors, vertical circulation and entrances, and have multiple units stacked vertically. Typically units are located on both sides of a corridor (double-loaded) and, sometimes, only on one side of a corridor (single-loaded). Apartments may also be designed with lower ground floor units with direct access to grade as well as upper units that gain access from a shared corridor, vertical circulation and entrance. 'Apartments' can be rental or condominium buildings.

To support the goals outlined in the Official Plan and in addition to the general guidelines outlined in Section 2.0, Apartment development should consider the following:

- The massing of all proposed apartment buildings should be designed to create a comfortable pedestrian environment, which will be further enhanced through the provision of private amenity space and landscaping.
- Larger, multi-storey buildings should incorporate repeating patterns at a regular rhythm.
- High quality materials including a large amount of glass should be incorporated into the building facades. Repetition of lines and windows through both vertical and horizontal articulations and setbacks can be used to further break up building mass.
- The massing of all proposed apartment buildings should be designed to create a comfortable pedestrian environment, which will be further enhanced through the provision of private amenity space and landscaping.
- Building designs and architectural elements that add variety to rooflines are encouraged.
- Projecting balconies beyond building façades are discouraged. Recessed or partially recessed balconies are preferred.
- Buildings should be designed to address the street and are to include pedestrian entrances from the surrounding public street and/or sidewalk.
- The mass of proposed buildings, shall be broken up using a number of massing techniques including: projections and recessions; changes in building materials/ colours; and the incorporation of varying window sizes. These techniques should be applied to longer buildings to ensure an attractive streetscape.
- Outdoor living spaces of individual units are encouraged in the form of patios, porches or balconies.



Use of high quality materials including a large amount of glass and a comfortable pedestrian environment.

- Where applicable, buildings should be located to frame intersections.
- All building façades will be articulated, with particular attention to building elevations visible from the surrounding public realm. Blank walls are strongly discouraged.
- Outdoor amenity areas associated with apartment developments should be designed in highly visible locations.
- Apartment developments should be designed with common amenity space. In locations where public parkland is not located within walking distance, common outdoor amenity space is strongly encouraged.
- Orient and design taller buildings to minimize shadows cast on adjacent properties, especially other residential buildings and open spaces.
- Privacy fences should be provided along interior side and rear property lines of apartment developments to ensure that glare from headlights do not spill over onto adjacent properties. This also provides for continued privacy of any adjacent residential properties and provides for shade opportunities on-site.
- For taller buildings, avoid problems of overshadowing by siting the development away from neighbouring boundaries, stepping back the upper storeys of the building, and/or altering rooflines.



Examples of articulated building façades and altering rooflines.

3.6 | Mixed-Use Buildings

The guidelines in this section apply to mixed-use buildings and mixed-use developments. Mixed-use buildings are typically designed with non-residential uses (retail, office, etc.) on the ground floor with the upper floor(s) used for residential or other purposes (i.e. office). Sites which contain both free-standing residential and free-standing commercial buildings are also considered mixed-use developments for the purposes of these guidelines.

- New residential or mixed-use buildings along major arterial roads should be set close to the street with the intention of eventually creating a more traditional downtown-style street. Maximum setbacks may be imposed through implementing zoning by-laws to achieve this objective.
- Shared parking for commercial and residential uses is encouraged, particularly where visitor parking spaces are required. Commercial uses and visitors often operate with opposite peak times providing for logical sharing opportunities.
- New parking areas should be located within the side and rear yards where possible. Existing front yard parking areas should be screened from the street.
- Mixed-use buildings are encouraged to be designed with higher ground floor ceiling heights and large ground floor windows.
- Reduced amenity areas may be appropriated in proximity to parks and commercial uses.
- Privacy fencing should be provided along all interior side and rear lot lines.
- When integrating new mixed use buildings within Commercial areas flat roofs are appropriate.
- If possible, consider having a secondary residential access via the amenity area, in addition to an entrance in the street-facing wall.
- Where residential units are added above an existing commercial or mixed-use building private amenity areas should be incorporated where possible.



Mixed-use buildings are encouraged to be designed with higher ground floor ceiling heights and large ground floor windows.



New mixed-use buildings should be set close to the street.



4

IMPLEMENTATION

4.0 | Implementation

Town Staff will implement the Urban Design Guidelines as part of their review of development applications and in consultation with the public and members of the development community. The guidelines are intended to act as an additional resource for municipal staff to assess development applications and are intended to help both staff and applicants engage in meaningful discussions about urban design and heritage conservation based on a common understanding of good urban design and clear expectations.

Many of the design guidelines can be implemented through the mechanisms available in the Planning Act. These mechanisms are applied, in part, through the various lower-tier Zoning By-laws, through the review of Site Plan Control applications, and through the variance and consent processes of the Committee of Adjustment.

Zoning By-laws outline what a parcel of land may be used for and regulates lot size, parking requirements and building height. Design guidelines will support the requirements under Zoning. Where amendments to the current zoning are requested as part of a development application, consideration will be given to the Urban Design Guidelines in determining if site specific regulations should be incorporated as part of the amendment.

Site Plan Control is the process that is used to control or regulate the various features on the site of an actual development including building location, landscaping, drainage, parking, and access by pedestrians and vehicles. Section 41 of the Planning Act provides local municipalities with the ability to implement exterior design control through the site plan process. Exterior Design Control is an essential tool in shaping the character, materiality and design of new buildings, site plans, and adjacent boulevards (i.e. street trees, furniture, etc.). Exterior Design Control allows a mandatory review and commenting process. Using the guidelines contained herein Staff will be able to review the appropriateness of a building's design and determine what amendments, if any, are needed.

The Committee of Adjustment is a quasi-judicial tribunal appointed by Council. It derives its jurisdiction from the Planning Act of Ontario. The Committee's mandate is, in part, to hear Applications for "Minor Variances" where a requirement of a Zoning By-law cannot be met (under Section 45 of the Planning Act) and to hear Applications for Consent to "Sever" a property. These Urban Design Guidelines are a tool to guide development. Applicants will have regard for the guidelines as they prepare their submissions; the Committee of Adjustment will equally have regard to the guidelines as they evaluate development applications. For a 'Consent (to sever) Application' where an infill lot is being created, even if the lot conforms to the requirements of the Zoning By-law, Planning staff may request specific conditions for the design of the building to be constructed on the lot (e.g. a condition that requires building permit applications to be generally consistent with a consent sketch provided as part of the application).

Design Guideline Updates & Monitoring

Town Staff from various departments should meet at regular intervals to discuss any and all recurring issues or challenges with implementing the guidelines. A general file can be kept on the Guideline Update and should contain a summary of guideline issues as they arise. Required amendments to the guidelines should be identified as a part of the regular meetings, and it is recommended that the guidelines be reviewed, and amended as required, every five years.

As developments within the Town continue to grow, revisions to the guidelines should address any emergent issues that are not evident at this time.

Exceptions to the Guidelines

When implementing design guidelines it is important to recognize that exceptions can be warranted and that at times a project that strives for excellence in design can demonstrate that a specific guideline is not appropriate in that instance. It is the responsibility of the designer/developer/builder to demonstrate to the Town where this exception exists and it is at the discretion of the Town to support or not support that justification.

APPENDIX
URBAN DESIGN BRIEF
TERMS OF REFERENCE

A



TERMS OF REFERENCE URBAN DESIGN BRIEFS

Purpose

An Urban Design Brief (UDB) is intended to describe and illustrate proposed designs for new development projects and demonstrate how the Town's Urban Design Guidelines and other Town policies have been considered as part of the site design.

The UDB will provide the design rationale for site, building and landscape design elements within the proposal, in addition to how the proposed development is compatible and complimentary with the existing neighbourhood. The scope and level of detail expected in the UDB will depend on the scale, site, nature, and complexity of the development proposal. The Urban Design Brief must be prepared and signed by a qualified professional. The Town of Orangeville Planning and Infrastructure Services will use the UDB to help assess the urban design aspects of development applications to ensure high quality design is achieved in the public and private realm. The Town encourages the design of complete and sustainability built environments that are consistent with Orangeville's character.

The UDB should explain why the proposed development represents the most effective design to meet the intent of the Town's Urban Design Guidelines. The UDB should also provide Planning Staff with an overview of the design rationale for the site and why design decisions were made.

The Terms of Reference has been drafted to standardize the Town's expectation for Urban Design Brief submissions to allow for efficient preparation and review.

When is an Urban Design Brief Required?

An UDB will generally be submitted as part of a development application for a proposal that includes an Official Plan Amendment, Zoning Bylaw Amendment, Draft Plan of Subdivision/Condominium, and/or Site Plan. This includes non-residential and mixed-use proposals.

At the Pre-Consultation stage the Town of Orangeville will identify whether or not an UDB is required as part of a complete application.

Design Brief Content

Urban Design Brief's shall contain the following sections:

PART ONE

1.1 Background/Existing Conditions

The Urban Design Brief should provide a description and analysis of the site and surrounding context (at least 400 metre radius from the site) noting any attributes and considerations including, but not limited to:

- Existing natural features, topography, and vegetation;
- Existing buildings and structures on the subject site;
- Lot fabric (including frontage and depth);
- Built form character of the surrounding area;
- Existing surrounding land uses;
- Planned future surrounding land uses (where applicable); and
- Existing or planned transportation networks (including vehicular, cycling, pedestrian, transit, etc).

A context map showing the subject site in relation to the neighbourhood and photographs of the existing context should also be included.

1.2 Response to Policy Context

The Urban Design Brief should provide a summary and analysis of the relevant planning documents and guidelines, including a description of how the proposed design accounts for, and implements the Town of Orangeville Official Plan and the Town of Orangeville Design Guidelines.

PART TWO

The purpose of Part 2 is to describe the proposed development concept and design solutions that respond to the guidelines as analyzed in Part One. Part Two of the UDB should include the following sections:

2.1 Development Concept

Describe and illustrate the proposed design concept, including confirmation of the following (where applicable):

- How will the building(s) address the street and public open spaces?
- The location of building entrances.
- Proposed building setbacks.
- If there are any heritage elements, or adjacent heritage elements, how is the new development compatible?
- How are transitions to the surrounding context being achieved using strategies such as appropriate massing and landscaping?
- How will parking be dealt with on the site?
- How will parking be screened and located?
- Show and demonstrate internal circulation and connections to the surrounding transportation network including: sidewalks, bicycle facilities, vehicular entrances and circulation, bus stops, and accessible routes.
- Describe proposed building materials and colours (if known) keeping in mind durability, sustainability, and context.
- For larger buildings, show how the building mass will be broken up?
- How does the building design respond to and/or reflecting its local context (existing and planned land uses)?
- What is the design treatment at-grade for pedestrians?
- Where applicable, how does the building address the corner?

2.2 Integration With the Public Realm

The UDB should describe how the proposed development has considered the surrounding public realm.

- How will the interface between the public and private realm contribute to creating attractive and functional streetscapes?
- Show how landscaping (either hard or soft) will be used to create a transition between the private and public realm, be sure to show pedestrian circulation connections.
- For site plan applications, show the streetscape features (street furniture, trees, street lights etc.).

2.3 Sustainable Urban Design

The UDB should summarize general environmental sustainability.

- How has the site design considered sustainability (i.e. bike racks, solar orientation)
- What building and landscaping approaches or technologies are being used to reduce the building environmental impact?

2.4 Sun Shadow Analysis

For projects that are six storeys or more in height, the Town may require the completion of a sun shadow analysis. The UDB should include the shadow studies along with a description of the anticipated shadow impacts as a result of the proposed development.

Submission Requirements

As part of the Urban Design Brief, written explanations and descriptions should be provided in addition to drawings, analysis, diagrams and/or illustrations to support the proposed development. Depending on the nature and scale of the development, these could include, but are not limited, to the following:

- Context drawing showing the location of the subject property within the broader community (400 metres)
- Site Plan / Conceptual Site Plan;
- Elevation drawings (for Site Plan Applications);
- Floor Plans (for Site Plan Applications);
- Landscape Plan or Conceptual Landscape Plan
- Circulation Plan (vehicular and pedestrian);
- 3D coloured renderings/ perspectives of the site and surrounding area
- Photographs, including precedent images to convey a particular design intent; and
- Sun/shadow analysis drawings (for buildings six storeys or higher).



TERMS OF REFERENCE

SUN SHADOW ANALYSIS

A shadow analysis is a visual model of how a proposed development will cast its shadow. Shadow analyses will demonstrate any potential impacts on shadow sensitive areas, such as public spaces, communal amenity areas and residential private outdoor amenity areas.

The Town of Orangeville may request a shadow analysis as part of a complete submission package when an increase in height and or massing is submitted through a Zoning By-law application, for a residential or mixed-use development. Typically the Town will only request a shadow analysis where a proposed development is 6-stories or more in height or where a development is in close proximity to a shadow sensitive area.

The requirement for and scope of a shadow analysis will be determined at the formal pre-application consultation meeting.

Content for Sun Shadow Analysis

The Shadow Analysis should highlight the site and identify the shadow outline of the proposed building(s). Shadows should be shown in a different shade/hatching. In areas where only a modest increase in height is proposed applicants may wish to also show the shadow outline of the as-of-right height.

If known, applicants are encouraged to illustrate shadows of approved but not yet constructed developments in the study area which have received approval but are not yet constructed. Provide the shadow outline(s) of such buildings only if the shadows which would be cast overlap on the shadow area of the proposed application.

Drawings are to be accompanied by a written summary of the shadow impacts, which include the locations of the impact and type of shadow sensitive use where the impact occurs (if applicable).

Test Dates and Times:

September 21 (Equinox):

8 am, 10 am, 12 pm, 2 pm, 4 pm, 6 pm.

December 21 (Winter Solstice)

9 am, 11 am, 1 pm, 3 pm

June 21 (Summer Solstice)

8 am, 10 am, 12 pm, 2 pm, 4 pm, 6 pm, 8 pm

Drawings are to be prepared within a single 11x17 sheet for each of the test dates (resulting in three pages total).

When reviewing Shadow Analysis submission the County will generally use the following evaluation criteria:

Acceptable Shadow Impacts for Shadow Sensitive Areas		
<p>Public Spaces (plazas, open spaces, parks, school yards)</p>	<p>Communal Amenity Areas (daycare outdoor play areas, private outdoor amenity areas associated with residential developments)</p>	<p>Ground Level Residential Private Outdoor Amenity Space (rear yards of low-rise residential developments)</p>
<p>An average of 50% of public space areas should be exposed to sunlight for a minimum of 5 interval hours during the September test date.</p>	<p>An average of 50% of communal amenity areas should be exposed to sunlight during two consecutive hourly internal times per day between 11 am and 3 pm during all three test dates. Pools only have to meet the criteria for June and September.</p>	<p>No new shadows within the rear yard of low rise residential development for more than two consecutive hourly test times during the June and September test dates.</p>

APPENDIX
FACADE IMPROVEMENT
PROGRAM

B



FACADE IMPROVEMENT GUIDELINES

In addition to the guidelines outlined within the Town of Orangeville CIP Design Guidelines, the following guidelines have been prepared relating to façade improvements for all non-residential and mixed-use buildings located within Priority Zone 1 of the Town's Community Improvement Plan (CIP). These guidelines have been prepared to provide direction for those applying to the Town's Comprehensive Façade Improvement Grant Program.

The Façade Improvement Grant Program is designed to promote façade and signage improvements that conform to the CIP urban design guidelines and to encourage private sector property owners to implement aesthetic improvements to their property(ies) that otherwise may not occur due to cost-related issues.

This program is targeted to private property owners within the downtown, along First and John Streets, within the shoulder areas of downtown and along East Broadway (identified as Priority Zone 1 within the Town's CIP). This includes:

- Privately owned commercial and mixed-use properties (for example commercial-at grade with residential on upper floors);
- Former residential buildings now used, in part or in whole, for commercial use;

Priority for this Grant will be given to properties fronting onto Broadway as well as properties with frontage on either First Street, John Street and Mill Street. Funding and eligibility requirements for this grant are outlined in the Town's CIP. The Façade Improvement Grant program enables an additional maximum of \$5,000 in matching grant assistance for work specifically related to heritage feature improvements to buildings on the Town's municipal heritage register (within priority Zone 1, per program eligibility)

Types of Façade Improvements that May be Eligible

Redesign:

Redesign involves the complete reconstruction of a façade to obtain a new image of the building. Good redesign respects the building context while maintaining the characteristic heights, setbacks, width and architectural styles of the area.

Restoration:

Restoration generally involves improving the appearance of the existing façade back to particular point in history. This is the best approach for historically significant facades and requires research on building materials, colours, and period architectural styles.

Renovation:

Renovation involves the revitalization of the original strengths and design of the façade. This approach incorporates the best aspects of the other two strategies with original elements of the building being maintained and accentuated with the option for adding more traditional and modern elements.

Downtown Properties with Heritage Value

Within the Downtown and historic areas of Zone 1, eligible facades are those which are adjacent to or easily visible from a public street or area. Examples of facade improvements include masonry cleaning, restoration and stabilization; installation of storefront awnings; sympathetic historically accurate windows; replacement of back-lit signs with new and more attractive signage; painting of woodwork; and renovation of storefronts. Grants will not be made available for landscaping; building insulation; eaves-troughs, or interior work.

While the Downtown includes a number of heritage buildings, façade improvements can incorporate more modern elements provided these are temporary (i.e. do not alter original heritage components) and do not contradict the heritage guidelines contained with the Town's CIP Design Guidelines. Likewise, there are non-historic buildings within the Downtown that are eligible for the façade improvement grant. These buildings should not be made to look historic, instead design cues should be taken to ensure that the scale and proportion complements the more historic buildings.



Positive example of a façade improvement to a non-original building within the Downtown. While modern elements have been incorporated, the signage band is in alignment with adjacent historic buildings, and large ground floor windows have been provided.

The following guidelines should be considered in the redesign, restoration or renovation of facades within the Downtown Heritage District:

Base Panels

- Base panels should provide a strong anchor to the store front and act as a base for display windows into storefronts.
- Base panels provide an attractive streetscape and should be designed at an effective viewing height creating a comfortable public realm and streetscape.
- Original base panels of buildings should be maintained through painting and periodic repairs with complementary, durable materials.

Display Windows

- Display windows should be inviting to the public realm and create a sense of openness into the store reducing the barrier between the store and customer on the sidewalk.
- Display windows should not be blocked off or reduced in size.
- For historic buildings, it is encouraged that the original window frames be repaired rather than replaced where possible.
- In the instance that window frames are missing or need replaced, using patterns and materials similar to the original are strongly encouraged.

Storefront Entrances & Doors

- Within the Downtown, storefront entrances are traditionally recessed or 'pushed in' from the display windows. This creates focus on the doorway while allowing the display windows to be the focus of the building.
- Recess entries contribute important qualities of depth and shade when repeated in adjacent stores and create an important rhythm in historical commercial areas.
- The original floor surfacing within the recessed entries primarily consists of tile and terrazzo floors and should be maintained as they are difficult to remove and contribute to the historic character of the building.
- With new developments, consider the use of concrete, terrazzo, stone, brick and tile when creating store front entrances.
- Materials should be weather and wear resistance and compatible with the surrounding context.
- Storefront doors should consider quality of materials, weight, operation and hardware.
- Doors should reinforce the character of the building and where feasible, original doors should be maintained.
- Replacement of doors should harmonize with existing façade and building character.



Examples of storefront entrances, awnings and active streetscape creating a positive pedestrian experience.

Awnings

- Awnings provide a physical extension of the building and can provide shade and shelter along the streetscape.
- Awnings should be designed to create an attractive public realm and offer storefront identification.
- Consistency in storefront heights and awning location placement is encouraged to reinforce the important patterns of the façade and overall streetscape.



Examples of attractive signage within the Downtown. These examples show a wide variety of sign styles which contribute to an existing streetscape. Each of these examples work because the scale of the sign and the colours of the sign complement the architecture of the building.

Signage

- When considering signage avoid clutter and choose a clear, easily readable typeface.
- Signs should not overpower the façade and be harmonized with the design of the storefront.
- Colour choices should complement the building façade and streetscape.
- Signs on buildings should complement, not obscure the architectural features of the building.
- Back lit and fluorescent signs are not permitted.
- Indirect lighting for signage is strongly encouraged and most effective for heritage buildings
- Adding new signage or any alterations to signage within the Downtown Heritage District must conform with the Town's sign by-law, including any specific regulations related to the Downtown.
- A sign permit from the Town of Orangeville is required for new signage and for some alterations to existing signs.

Storefront Cornice

- The storefront cornice forms the strongest and most continuous line on the street, caps the storefront, separates it from the middle façade of the building and creates unity between buildings along the streetscape.
- Replacement of storefront cornice should maintain the existing height, appearance and proportion to ensure visual harmony to the façade and existing streetscape is maintained.
- Colours, materials and visual appearance should maintain the existing character and appearance of the building.



Example of storefront cornice maintaining visual appearance and height.

Windows

- Window arrangement and design contribute to the style and character of a building. The size, proportion, spacing and decorative features create unity within the streetscape as well as the effectiveness of the individual façade.
- Windows should be maintained and boarding up, reducing size or shape, or dividing incorrectly is strongly discouraged.
- It is encouraged that windows should be checked periodically and maintained with caulking, painting and proper drainage.
- Well fitted and maintained storm systems are encouraged within windows to provide longevity and performance.
- If a window has deteriorated beyond repair, replacement windows should match the original style, size and colour of the existing windows. For non-historic buildings, new energy efficient windows are encouraged as part of a façade renovation.
- Shutters should only be added to a façade if they were originally part of the building. Shutters should be the correct size, proportion and colour to match the existing character of the building.



Examples of window placement and design.

Middle Façade

- The middle façade of the building is characterized by a flat wall largely solid in appearance with regularly placed windows cut into it. The original masonry should be maintained and conserved when completing façade improvements.
- New exterior cladding should be avoided as it creates moisture problems, detracts from the historical appearance of the façade and adds thickness that could that may conceal existing openings and decoration.
- If masonry has been painted, consider cleaning and/or repainting the masonry with a compatible colour.
- Unpainted masonry can be lightly cleaned and repaired.
- Avoid sandblasting masonry as it causes damage and deterioration (See “Masonry” guidelines for additional detail regarding masonry).

Vertical Elements

- Painting or cladding over quoins is strongly discouraged as it removes the visual separation of one building from the next.
- Where possible, original quoins should be maintained.
- Pilasters are often used in pairs to frame entrances and divide a façade into vertical sections. Many pilasters have been covered or obscured by layers of new cladding.
- Pilasters are important to the definition of an historic building and where feasible, should be uncovered, repaired, or recreated where possible.



Examples of vertical elements framing the entrance and providing visual interest to the façade.

Roofline

- Typical historic buildings consist of a decorative cornice or pitched roof to top off a commercial façade.
- Roof cornices are typically made of brick, stone, wood, pressed metal, metal-clad, terra cotta or ceramic tiles. If the existing cornice is in poor condition, it is recommended to be repaired rather than replaced to maintain the existing character of the building.

Masonry

- Where feasible, use soft mortar with high lime content and little cement to bind together bricks or stone so walls can absorb stresses and thermal movement with few control joints. Modern practices of using hard-mortar for repairs is discouraged. Hard-mortar transmit rather than absorb stresses and can crack/crush historic stone and brick.
- Avoid cleaning masonry often as it causes long-term structural damage and erodes the protective skin of the building. When considering cleaning or paint removal, it is encouraged to consult with a historical building specialist.
- Cladding a historic masonry building with modern material is not recommended. For non-original, non-historic buildings, recladding may be acceptable provided it results in an improved streetscape.
- Avoid adding materials to a masonry building that detract from other elements of the façade and are incompatible with the existing streetscape.



Example of masonry being used to enhance a building facade that compliments the existing character.



Example of roofline on historic buildings within Orangeville's Downtown.

Exterior Woodwork

- Exterior woodwork should be inspected frequently for structural stability and any source of damage
- Stripping previously painted wood to its base and varnishing or sealing it to appear unpainted is strongly discouraged. Not only is this modern practice not historically authentic, inadequate coating will expose the wood to ultraviolet light and atmospheric damage.
- Layers of paint should only be removed down to a layer of well-bonded paint before repainting.
- Ensure all fastenings are secure and repair with compatible, not quick-fix materials, and replace only the wood that is no longer sound or unable to hold paint.
- When replacing wood, choose materials that are sympathetic in scale, thickness and design to ensure compatibility with the existing woodwork.
- Covering woodwork in aluminum or vinyl is strongly discouraged as it can trap moisture against wooden surfaces creating an ideal condition for fungal growth and insect infestation and cause more damage.



Example of exterior woodwork used to complement the building facade.

New Construction

Cooperation and maintaining a sense of unity are important factors when designing a new building or facade for an existing streetscape. This does not mean that new construction needs to copy a local heritage building, but attention should be paid to the existing horizontal and vertical alignments, height, mass, and overall or special forms of the neighbouring buildings and streetscape.

The Public Health Office is a good example of new construction that has considered the scale and horizontal/vertical elements of neighbouring buildings.



Example of new construction that compliments the existing horizontal and vertical alignments of the neighbouring buildings and streetscape.

Guidelines for New Construction:

- New infill development should fit in scale, height, form and character to its surrounding context
- Proportions of windows and entrances should marry the surrounding buildings in placement and style
- Similar fittings, materials and colours should be used to create harmony within the streetscape and public realm.
- Contemporary elements and materials are encouraged. New construction should be of its time and should not be made to look like a historic building.



Example of a vacant lot that has been developed with a contemporary building. The cornice line has been maintained and the height and scale meets surrounding buildings, allowing the new building to fit within the existing context while providing a contemporary aesthetic.

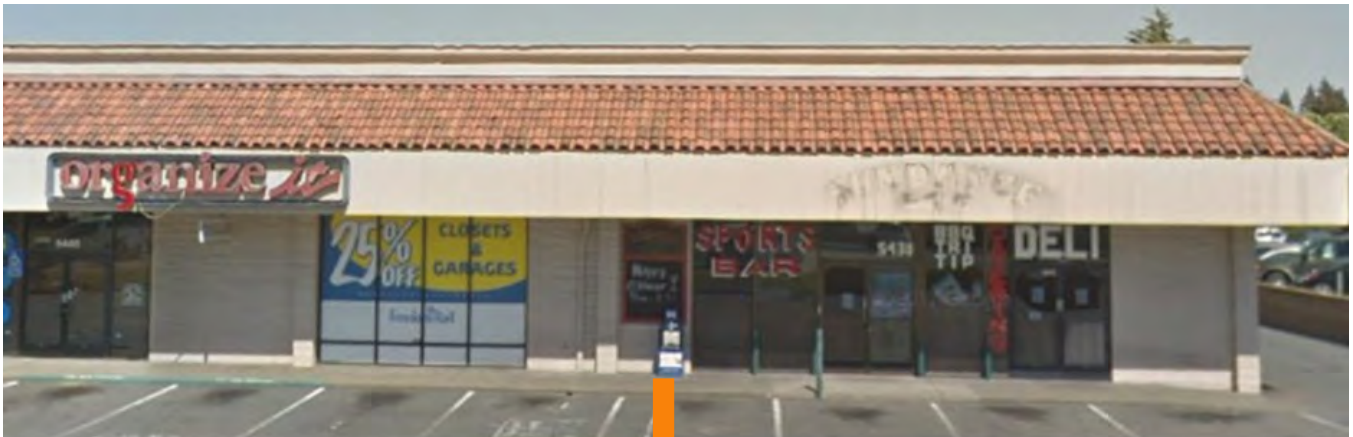
Commercial Properties within Priority Zone 1

Commercial properties outside of the Downtown core are also eligible for the Façade Improvement Grant. There are a number of older commercial plazas within which façade improvements are encouraged.

The following types of improvements will be eligible for the Grant:

- New and/or improved building signage;
- New windows facing the public realm;
- For multi-tenant properties, façade improvements that result in a cohesive design aesthetic across the entire development;
- Recladding of buildings;
- Adding variation to roofline; and
- Distinguishing between units for multi-unit buildings though architectural features, changes in building materials/colours and through variations in roofline.

BEFORE:



AFTER:



Before and after example of a facade improvement on a commercial property.